

REPORT OF THE CHIEF OFFICER PLANNING AND REGULATORY
7th MAY 2019

APPLICATION NO:
P/2019 /0220

LOCATION:
1 BEDWELL CRESCENT CROSS
LANES WREXHAM LL13 0TT

DATE RECEIVED:
19/03/2019

COMMUNITY:
Sesswick

DESCRIPTION:
DEMOLITION OF EXISTING
DETACHED GARAGE AND
ERECTION OF DETACHED ANNEX

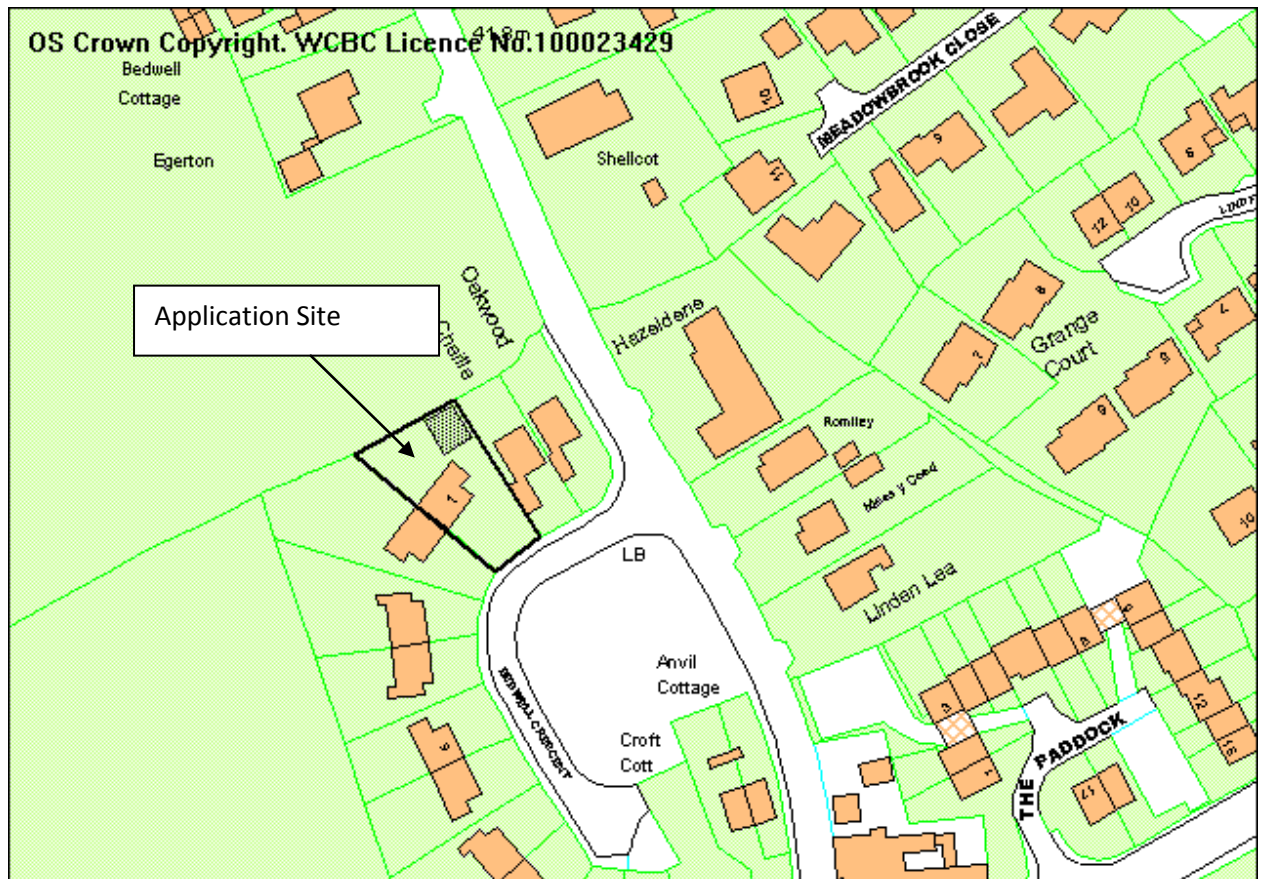
CASE OFFICER:
SEH

WARD:
Marchwiell

APPLICANT(S) NAME:
MR & MRS JONES

AGENT NAME:
BLUEPRINT LTD
MR DAFYDD EDWARDS

THE SITE



PROPOSAL

As above

HISTORY

None relevant

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DEVELOPMENT PLAN

The site is within settlement. UDP Policies PS2 and GDP1 apply. Local Planning Guidance Notes Nos. 20 'House Extensions' and 21 'Space around Dwellings' are also relevant.

CONSULTATIONS

Community Council:

Objects on the grounds that:

- This is against the fence of the neighbouring property. Indeed, it seems nearer to the next-door house than to 1 Bedwell Crescent itself. Whilst no windows in the proposal are shown as overlooking, members feel its presence would be too close for comfort for the neighbour;
- The application would appear to be an attempt to make an extra property where none has existed previously. Similar such applications in our community have been refused by the local planning authority as being against policy, so councillors call for the same rationale to be applied here;
- Furthermore, members believe the proposed annex would be visible from Bedwell Road though has a restricted view from Bedwell Crescent due to the presence of a wooden shed.

Local Member:	Notified	21.03.2019
Site notice:	Expired	11.04.2019
Neighbours:	Notified	21.03.2019

SPECIAL CONSIDERATIONS

Background: Proposed is the removal of an existing dilapidated, flat roof outbuilding and replacement with a pitched roof outbuilding to be used for ancillary accommodation (annex). The annex comprises of a bedroom, lounge and bathroom. There are no kitchen facilities proposed within the building. The main issues to consider relate to the impact of the development upon residential and visual amenity.

Design: The annex will utilise matching materials and has been designed to be in keeping with, and sympathetic to, the character and appearance of the dwelling. The building will not be readily visible from Bedwell Crescent and the development will have little impact when viewed from this direction. The building will be visible from Bedwell Road to the side and rear of the property. The image below is taken from google street view and shows the existing

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garage (coloured white and green) which is to be removed to make way for the building.



Figure 1. Existing View from Bedwell Road

As mentioned previously, the annex will have a pitched roof which is the only substantial feature that will be fully visible from public viewpoints. That said, the roof will not have a significant impact within the context of the existing surrounding built development, and the annex will not have an adverse impact upon the visual amenities of the area.



Figure 2. Proposed Front Elevation

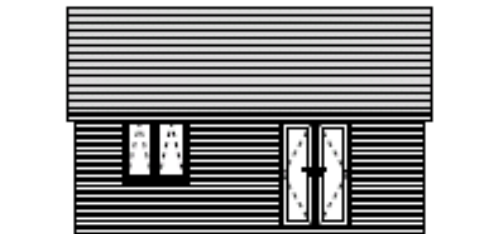


Figure 3. West Facing Side Elevation



Figure 4. Proposed Rear Elevation

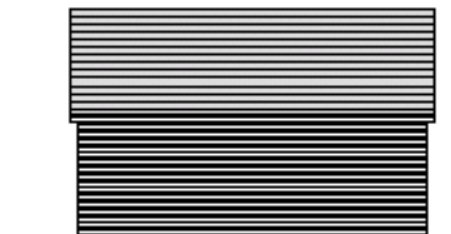


Figure 5. East Side Facing Elevation

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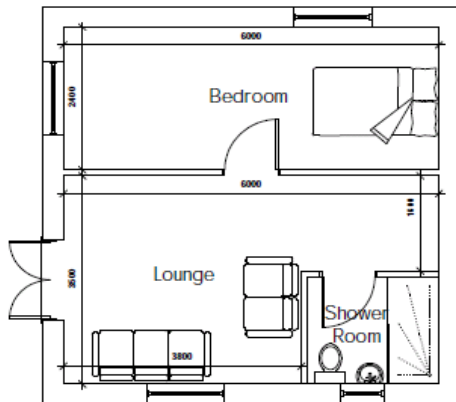


Figure 6. Floor Plan

Residential Amenity: There are no windows proposed in the side elevation facing of the building facing east which will avoid any loss of privacy to the adjacent property. The windows facing north overlook fields across which there will be no impact upon residential amenity. There is a window proposed facing west and so a condition is required to secure an appropriate boundary treatment to safeguard against any overlooking of the garden area of the adjacent dwelling.

The footprint of proposed annex is larger in size than the existing by approx. 1 metre in depth and 0.5 metre in width, and is to be on the same footprint as the existing building (see figures 7 and 8 below). The main change is the addition of the pitched roof which will measure the standard 4 metres in height when measured from ground level. The roof has been designed so that it slopes away from the adjoining property, rather than have the gable end adjacent to the site boundary. I do not therefore consider there to be any significant over dominance / over shadowing of the rear of the adjacent property.



Figure 7. Existing Site Layout



Figure 8. Proposed Site Layout

Conclusion: I consider the proposed annex to be acceptable in terms of scale and design, and that there would be no significant impact upon visual or residential amenity. The development is in accordance with the Council's adopted policies and guidance and I recommend accordingly.

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RECOMMENDATION: That permission be GRANTED

CONDITION(S)

1. The development hereby permitted shall be commenced before the expiry of five years from the date of this permission.
2. The development shall only be carried out in strict accordance with the details shown on the approved drawing(s) numbered J146/005 rev B and as contained within the application documentation.
3. Prior to their use on the development samples of all external facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. The development shall only be carried out in strict accordance with such details as are approved.
4. With the exception of those shown on the approved plan and notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking, re-enacting that Order with or without modification) no windows or other openings shall be inserted in any elevation of the building.
5. The annex hereby approved shall not be used other than by members of the same family as occupying the existing dwelling and shall in no case be used as a separate dwelling. For the avoidance of doubt, there shall be no kitchen or other cooking facilities incorporated within the building.
6. No part of the development shall commence until a detailed Arboricultural Method Statement has been submitted to and approved in writing by the Local Planning Authority. No development or other operations shall take place except in strict accordance with the Method Statement as is approved. The Method Statement shall include the following:
 - a) A specification for tree protection fencing and ground protection measures that comply with British Standard 5837:2012;
 - b) A Tree Protection Plan showing the location of the trees to be removed and retained with their crown spreads, Root Protection Areas, Construction Exclusion Zones, and location of protective fencing and ground protection measures accurately plotted;
 - c) A full specification for any access, driveway, path, underground services or wall foundations within retained tree Root Protection Areas or Construction Exclusion Zone, including any related sections and method for avoiding damage to retained trees;
 - d) Details of general arboricultural matters including proposed practices with regards to cement mixing, material storage and fires;
 - e) Details of the frequency of supervisory visits and procedures for notifying the findings of such visits to the Local Planning Authority;
 - f) Method for protecting retained trees during demolition works;
 - g) Details of all proposed tree works, including felling and pruning.
7. Prior to first use of the annex hereby approved, a 2 metre high close boarded fence shall be erected along the western boundary to the rear garden area of the site. The fence shall thereafter be permanently retained at this height.

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REASON(S)

1. To comply with Section 91(3) of the Town and Country Planning Act, 1990.
2. To comply with section 71ZA (2) of the Town and Country Planning Act 1990.
3. To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GDP1 and PS2 of the Wrexham Unitary Development Plan.
4. To protect the amenities of the occupiers of nearby properties in accordance with Policy GDP1 of the Wrexham Unitary Development Plan.
5. To protect the amenities of the occupiers of nearby properties and ensure that the building remains incidental to the dwelling, and in the interests of highway safety and in accordance with Policy GDP1 of the Wrexham Unitary Development Plan.
6. To ensure the work is carried out to accepted arboricultural practices for the long term wellbeing of the tree(s) in accordance with Policies GDP1, PS2 and EC4 of the Wrexham Unitary Development Plan.
7. To protect the amenities of the occupiers of nearby properties in accordance with Policy GDP1 of the Wrexham Unitary Development Plan.

NOTE(S) TO APPLICANT

You are advised that building work which involves work on an existing wall shared with another property, building on the boundary with a neighbouring property or excavating near a neighbouring building may require the separate consent of the neighbour under the provisions of the Party Wall Act. If you require further information or advice please contact the Building Control Section on 01978 292050.

All works relating to this development which are audible beyond the site boundary should be carried out only between 7.30 and 18.00 hrs Monday to Friday, and 08.00 to 14.00 hrs on a Saturday, and at no time on a Sunday or a Bank Holiday. Outside these times, any works which are audible beyond the site boundary have the potential to cause unreasonable disturbance to neighbouring premises.

The applicant is advised that the Council has the option to control construction noise by serving a Control of Pollution Act 1974, Section 60, Notice where deemed necessary, and failure to comply with such a Notice can result in prosecution.

The applicant should adhere to the times given above wherever possible. For further information and advice regarding construction noise please contact the Council's Housing and Public Protection Department on 01978 315300.
